

RECEIVED
By Mattie VandenBoom at 12:39 pm, Jul 24, 2024

DEFINITIVE SITE PLAN
FOR
39 LARMARTINE STREET
WORCESTER, MASSACHUSETTS 01610

RECORD APPLICANT:
POLAR VIEWS, LLC
89 WEST MAIN STREET UNIT 101
NORTHBOROUGH, MA 01532

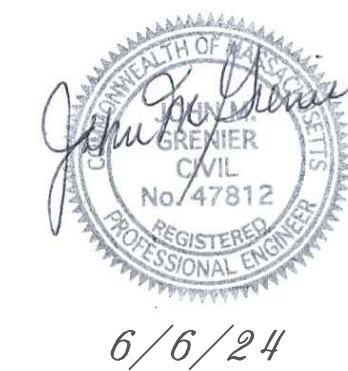
RECORD OWNER:
POLAR VIEWS, LLC
89 WEST MAIN STREET UNIT 101
NORTHBOROUGH, MA 01532

LAND PLANNERS—CIVIL ENGINEERS:
J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MA 01772
(508) 845-2500

LAND SURVEYORS:
GEO/NETWORK LAND SURVEY INC.
645 CHANDLER STREET SUITE 7
WORCESTER, MA 01610

ZONING DISTRICT: BUSINESS, GENERAL (BG-3.0)

INDEX DESCRIPTION	SHEET NUMBER
COVER	1 OF 8
EXISTING CONDITIONS PLANS	2 OF 8
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DETAIL PLAN	8 OF 8



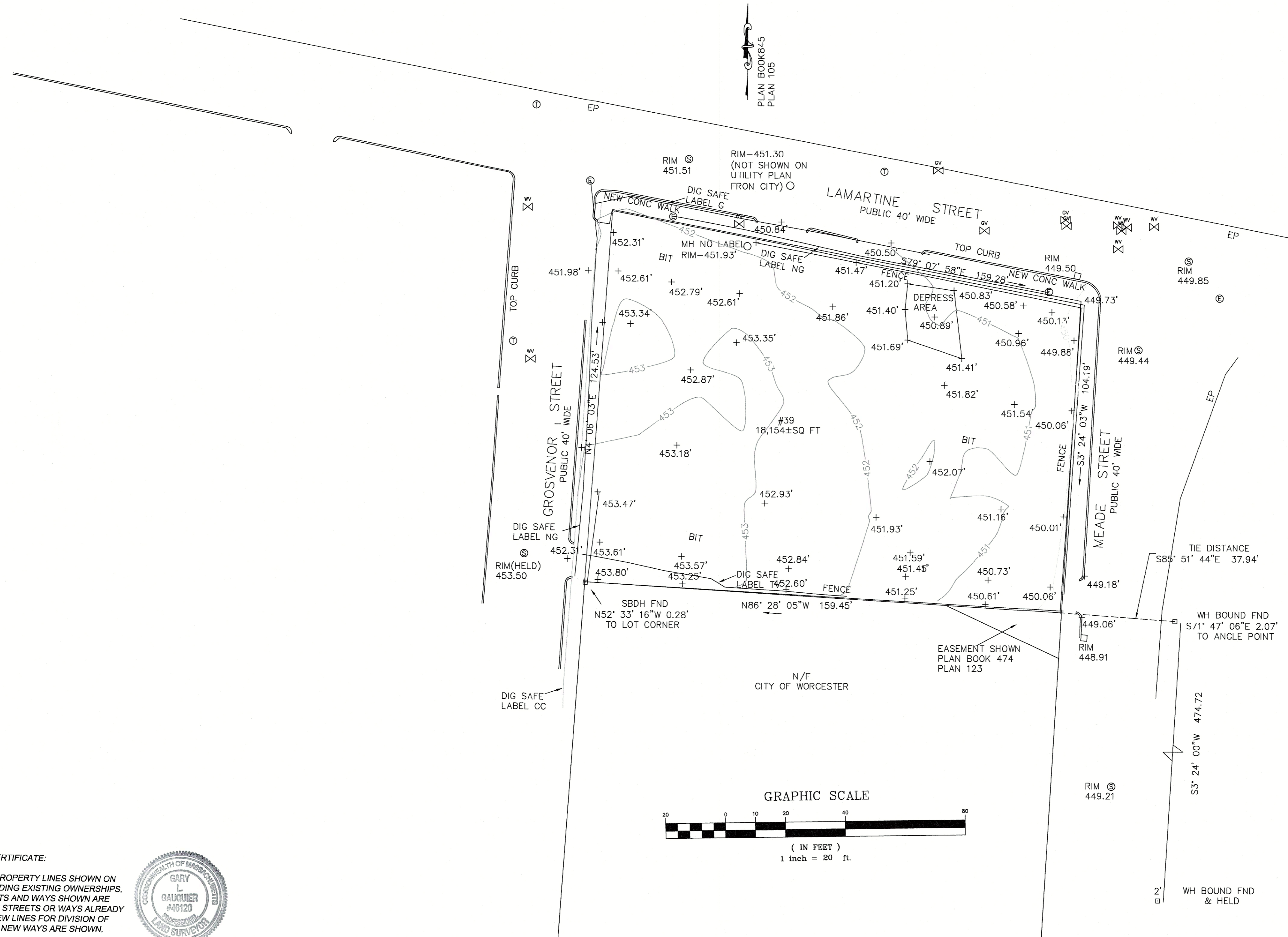
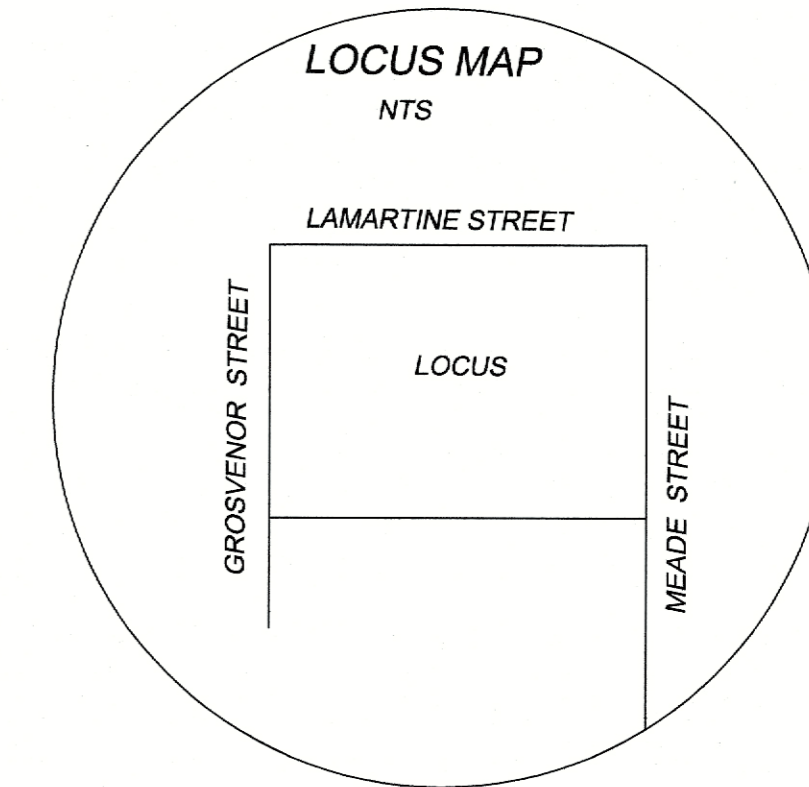
6/6/24

REV. NO.	DATE	REVISION
SCALE: AS SHOWN		DATE: JUNE 6, 2024
COVER SHEET		
SHEET NO.: SHEET 1 OF 8	PROJECT NO.: G-647	

PLAN REFERENCES

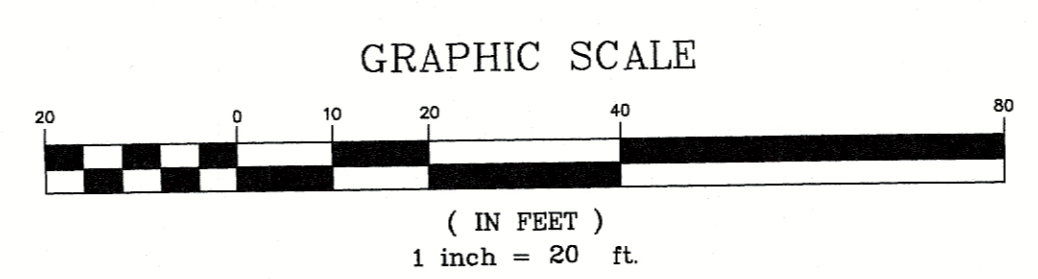
PLAN BOOK 474 PLAN 123
 PLAN BOOK 842 PLAN 40
 PLAN BOOK 845 PLAN 105

CITY OF WORCESTER PLANS
 LAMARTINE STREET (H-15 6741-1)
 MEADE STREET (H-9286)
 GROSVENOR STREET (H-9323)



- NOTES**
- 1.) DATUM TAKEN FROM SMH ON UTILITY PLAN FROM CITY OF WORCESTER
 - 2.) CONSTRUCTION ON LOTS OR LAND IS SUBJECT TO ANY EASEMENTS, RIGHT OF WAYS, RESTRICTION RESERVATIONS OR LIMITATIONS ON RECORD
 - 3.) UTILITIES SHOWN ARE FROM FIELD LOCATIONS IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE SIZE, ELEVATION AND LOCATION, AND TO CONTACT "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION

OWNER OF RECORD
 39 LAMARTINE STREET LLC
 DEED BOOK 66121 PAGE 388

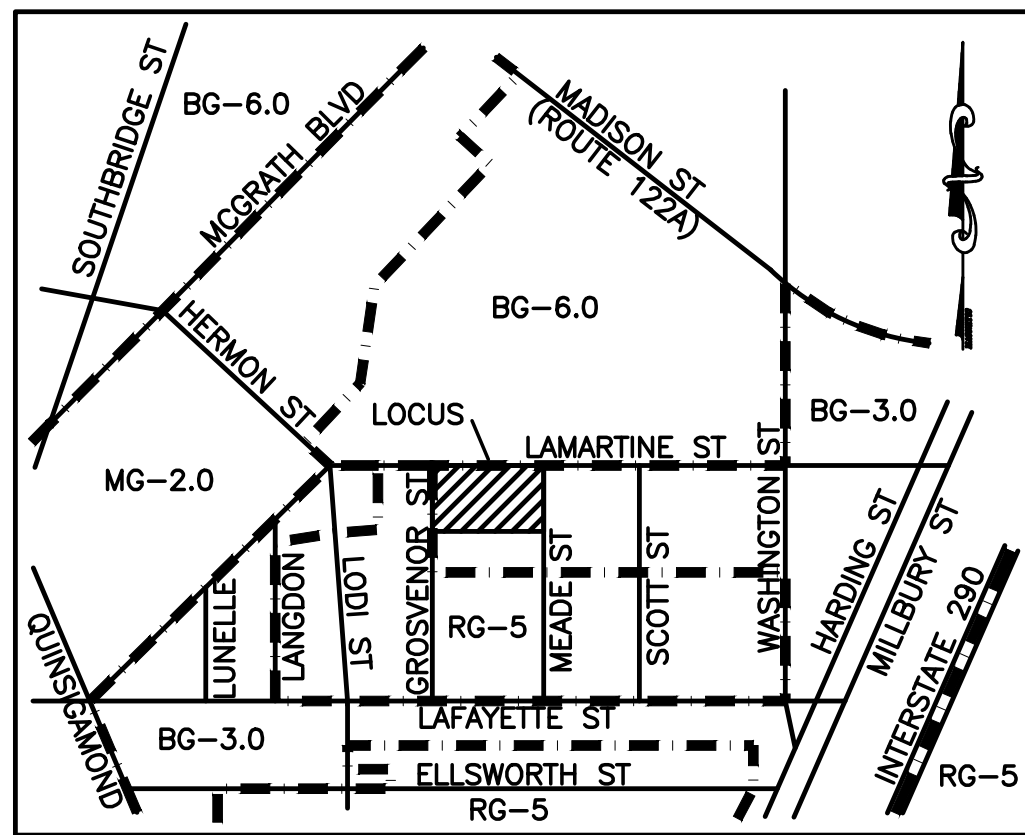


MGL C41 S81X SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

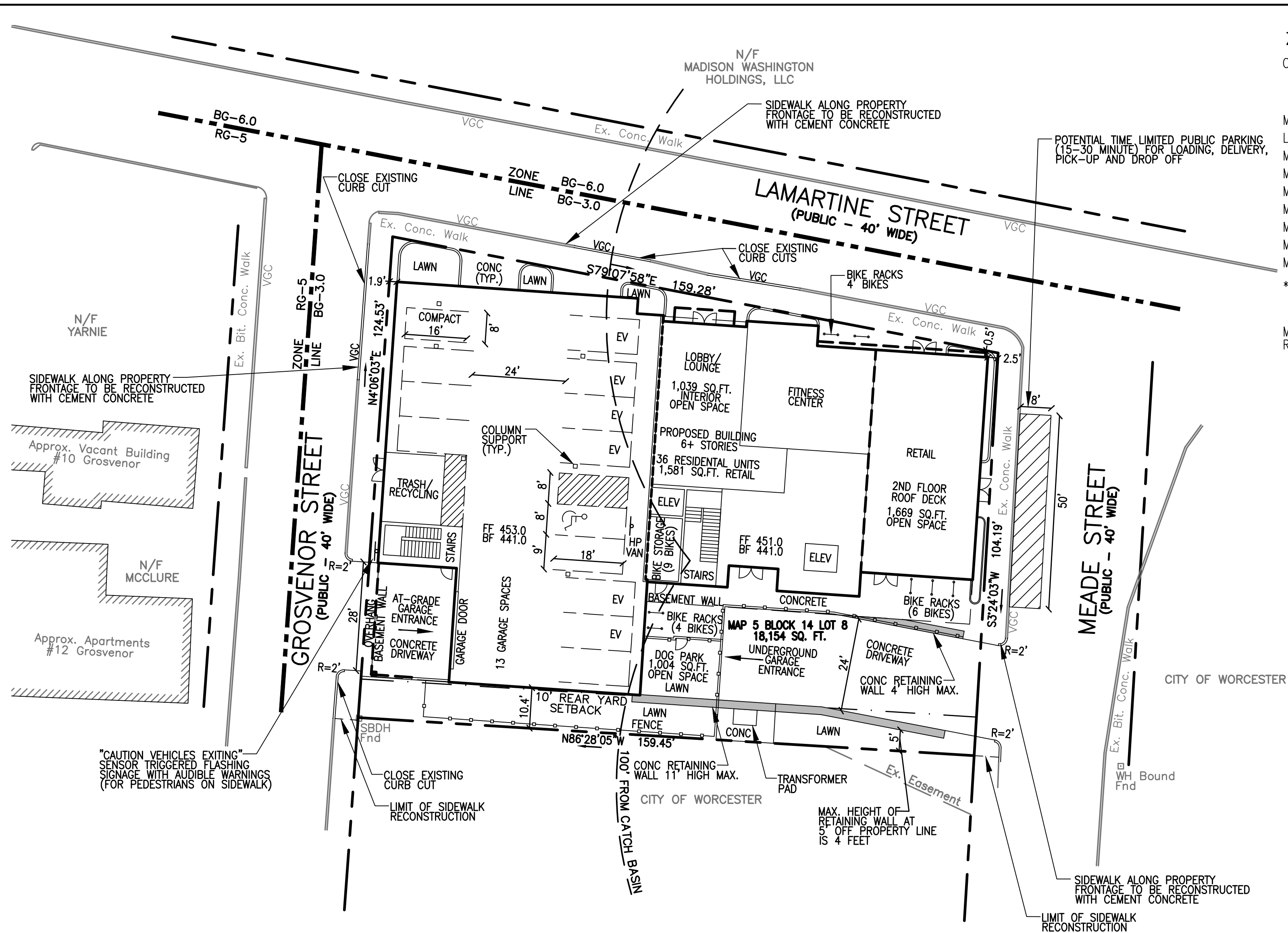


2/29/24
 DATE SURVEYOR *Gary L. Gaudier*

PLAN OF LAND
 39 LAMARTINE STREET
 WORCESTER, MA
 PREPARED FOR: DANIEL AND REBECCA YARNIE
 FEBRUARY 24, 2024 SCALE 1" = 20'
GEO / NETWORK LAND SURVEY, INC.
 645 CHANDLER STREET SUITE 7
 WORCESTER, MASSACHUSETTS 01610
 508-755-7003 FAX 508-755-8003



LOCUS: N.T.S.



ZONING SUMMARY

CURRENT ZONE: BUSINESS, GENERAL (BG-3.0)

	REQUIRED RESIDENTIAL	REQUIRED NON-RESIDENTIAL	PROPOSED
MIN. LOT AREA	5,000 SQ.FT.	---	18,154 SQ.FT.
LOT REGULARITY FACTOR*	0.4	0.4	0.969
MIN. FRONTAGE	200'	---	159.28'
MIN. FRONT YARD SETBACK	---	---	0.5'
MIN. EXTERIOR SIDE YARD SETBACK	---	---	1.9'
MIN. REAR YARD SETBACK	10'	10'	10.4'
MIN. RECREATION AREA	10%/1,815 SQ.FT.	---	20.4%/3,712 SQ.FT.
MAX. FLOOR AREA RATIO	3.0	3.0	2.67
MAX. BUILDING HEIGHT	100'	100'	68'

* R=16*A/P^2, WHERE A=AREA AND P=PERIMETER

USE	REQUIRED
MULTI-FAMILY: 2/D.U X 36 UNITS	= 72 SPACES*0.75 = 54 SPACES*
RETAIL: 1/300 SQ.FT. X 1,581 SQ.FT.	= 6 SPACES
	60 SPACES REQUIRED
	40 SPACES PROVIDED
	30 STANDARD SPACES
	10 COMPACT SPACES (25%)

* 25% PARKING REDUCTION FOR ELIGIBLE DEVELOPMENT UNDER ARTICLE VII, SECTION 6.A.ii.a OF THE ZONING ORDINANCE

NOTES:

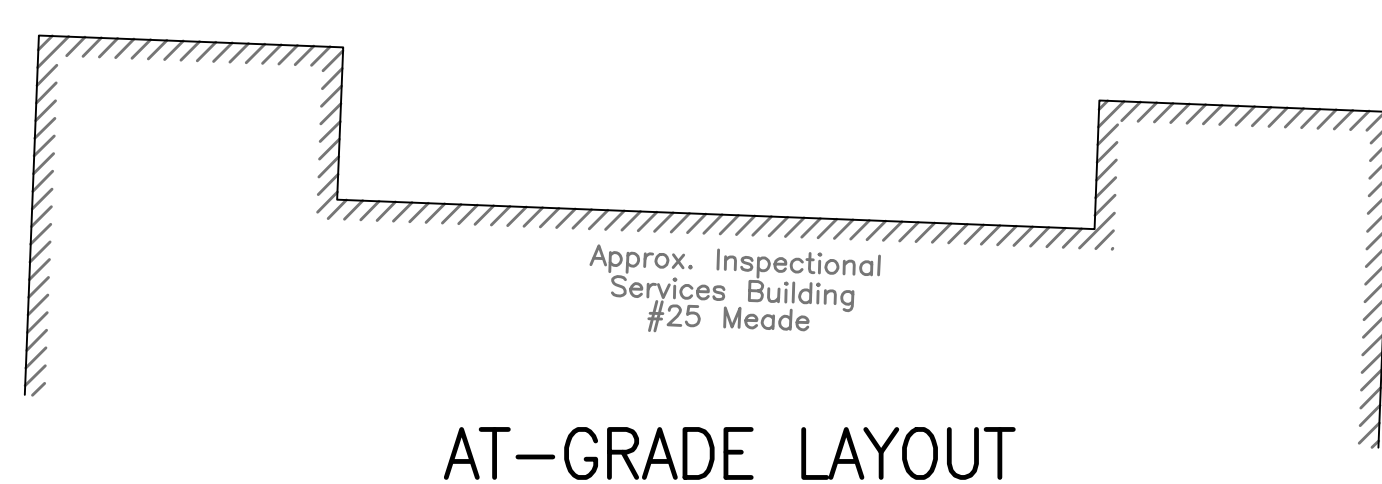
- VARIANCE REQUIRED FROM ZONING BOARD OF APPEALS TO REDUCE FRONTAGE FROM 200' TO 159.28'
- SPECIAL PERMIT REQUIRED FROM PLANNING BOARD FOR PARKING SPACE REDUCTION OF UP TO 50% OF BASE REQUIREMENT
- SPECIAL PERMIT REQUIRED FROM PLANNING BOARD FOR RELIEF FROM LOADING SPACE REQUIREMENTS IN TABLE 4.5. ONE LOADING SPACE IS PROPOSED ON MEADE STREET.

LEGEND:

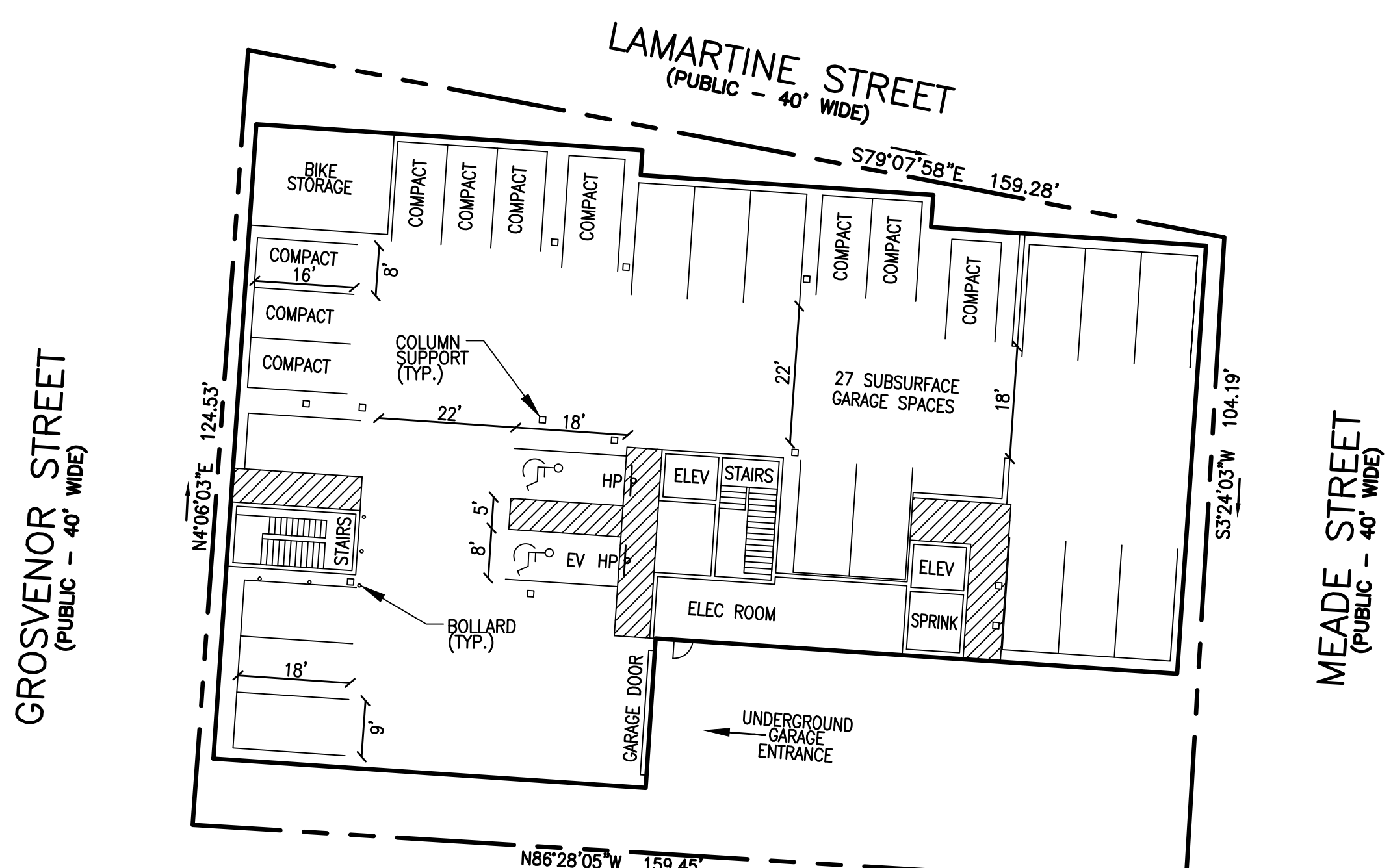
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- 450--- EXISTING CONTOUR - HIGH
- 448--- EXISTING CONTOUR - LOW
- 450--- PROPOSED CONTOUR - HIGH
- 448--- PROPOSED CONTOUR - LOW
- EXISTING EDGE PAVEMENT
- EXISTING CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- D --- EXISTING DRAIN LINE
- D --- PROPOSED DRAIN LINE
- FM --- PROPOSED FORCE MAIN
- W --- EXISTING WATER LINE
- W --- PROPOSED WATER LINE
- S --- EXISTING SEWER LINE
- S --- PROPOSED SEWER LINE
- G --- EXISTING GAS LINE
- E --- EXISTING UNDERGROUND ELECTRIC
- C --- EXISTING UNDERGROUND CABLE TV
- PROPOSED EROSION CONTROL

NOTE:

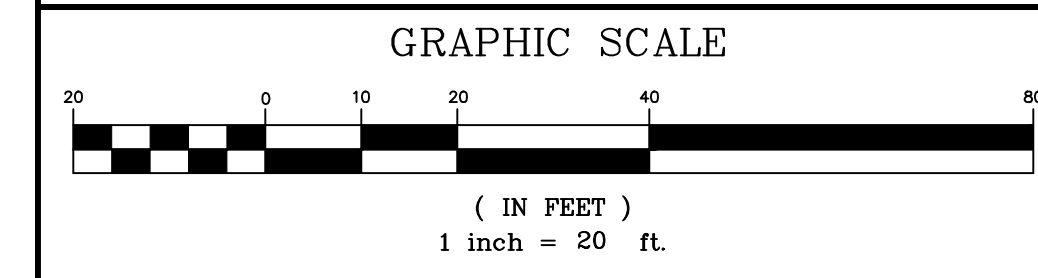
WRTA ROUTE 4 IS LOCATED WITHIN WALKING DISTANCE SUBJECT PROPERTY (AT MILLBURY/LAFAYETTE, HARDING/LAFAYETTE).



AT-GRADE LAYOUT



SUBSURFACE PARKING LAYOUT



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DEFINITIVE SITE PLAN
FOR
39 LAMARTINE STREET
WORCESTER, MASSACHUSETTS 01610

PREPARED FOR:
POLAR VIEWS, LLC
89 WEST MAIN STREET UNIT 101
NORTHBOROUGH, MASSACHUSETTS 01532

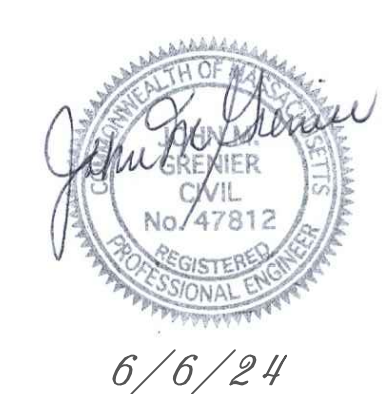
PROPERTY OWNER:
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89 WEST MAIN STREET UNIT 101
NORTHBOROUGH, MASSACHUSETTS 01532

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
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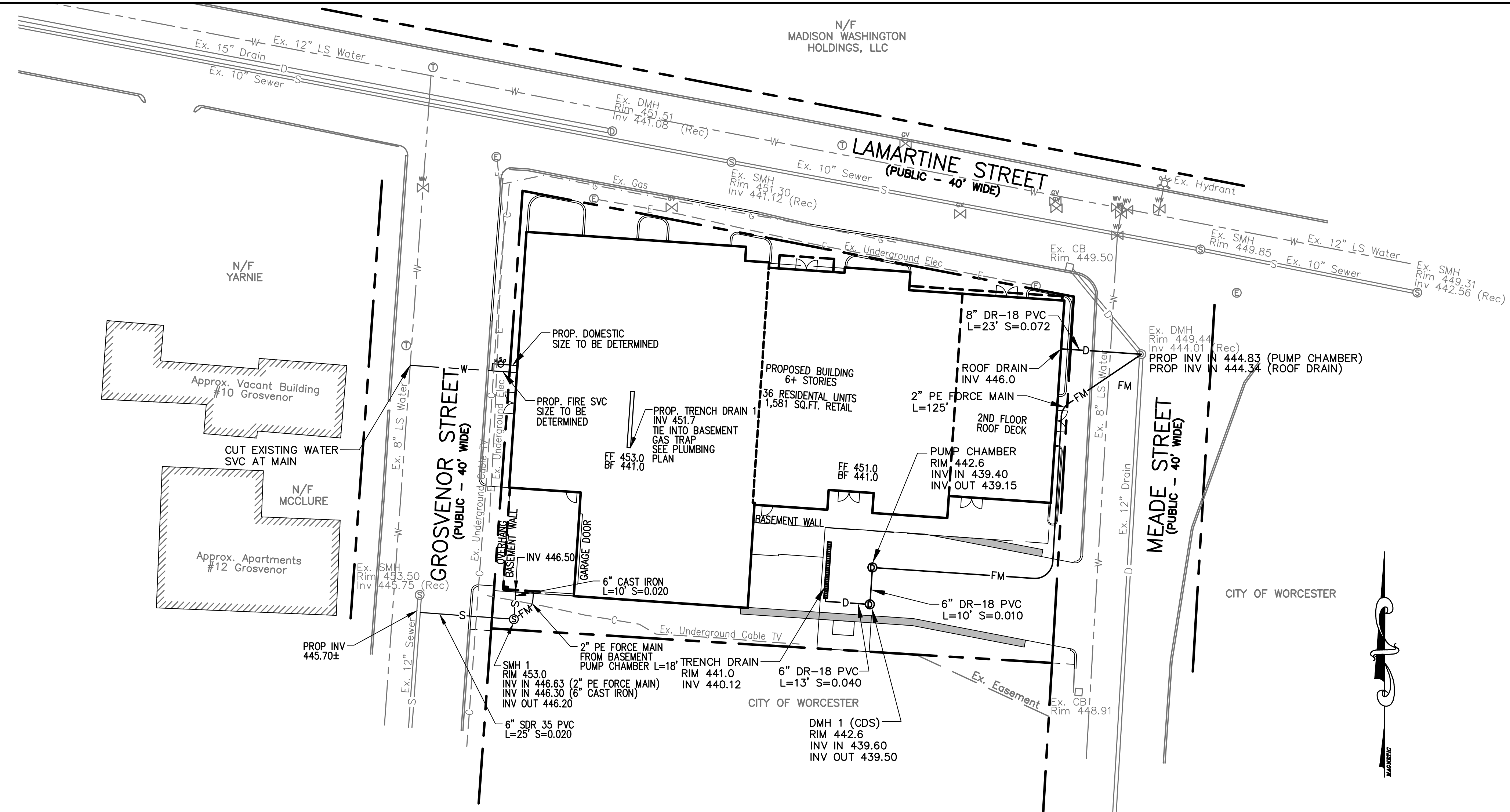
TELE NO.: (508) 845-2500 jmgrenier@townisp.com

SCALE: 1" = 20'
DATE: JUNE 6, 2024

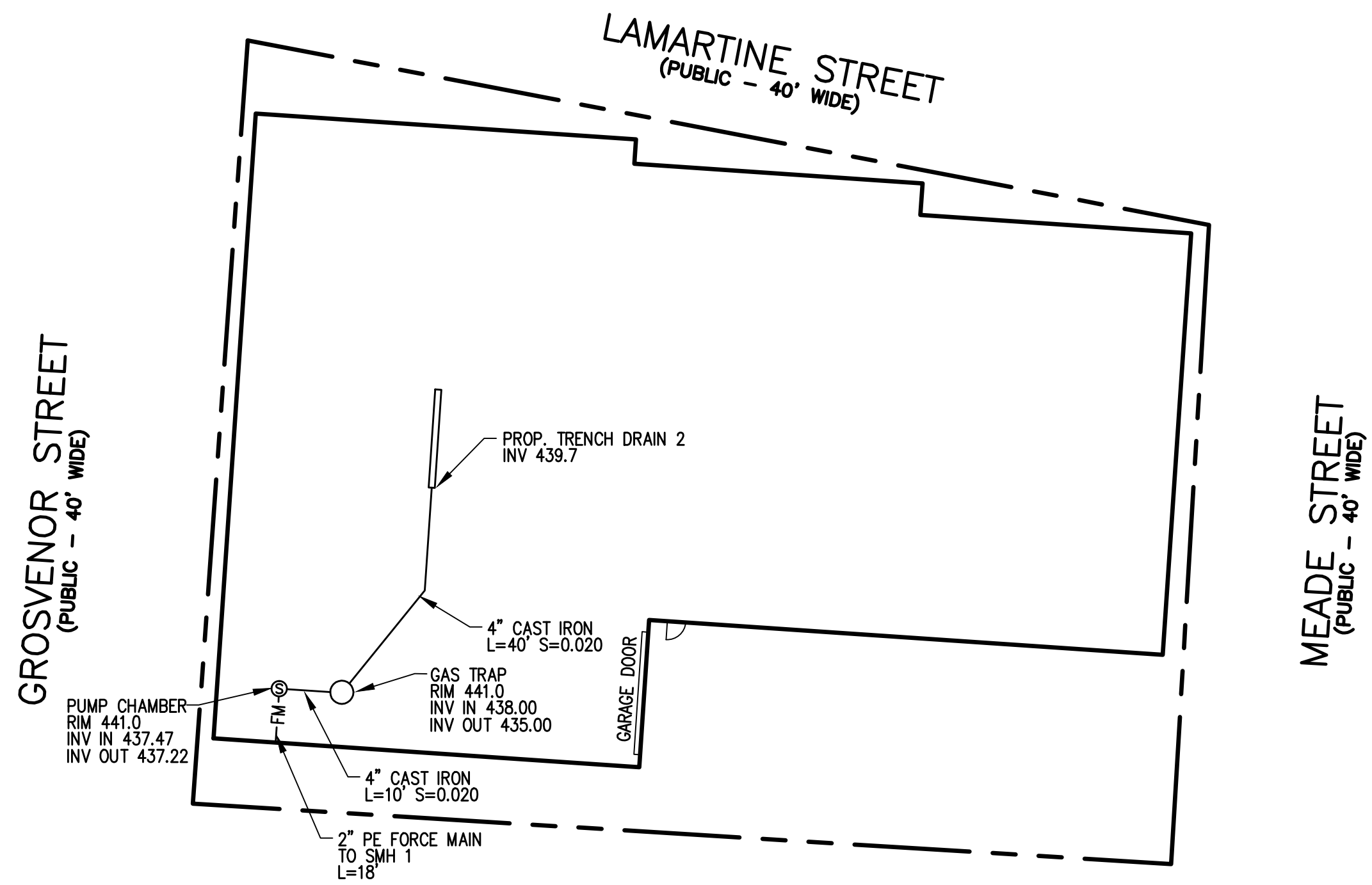
LAYOUT PLAN
SHEET NO.: SHEET 3 OF 8
PROJECT NO.: G-647



6/6/24



AT-GRADE UTILITY PLAN

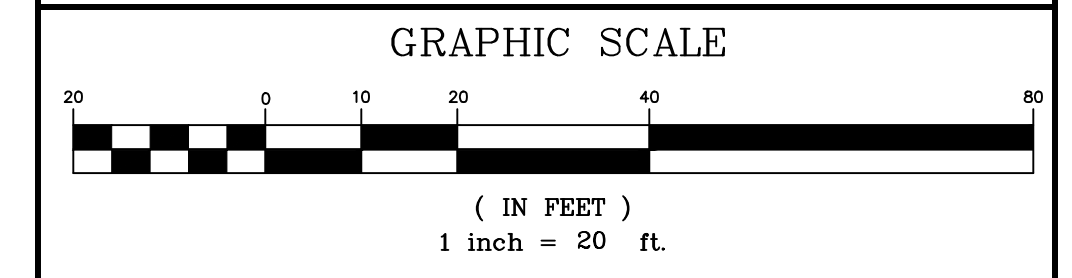


SUBSURFACE UTILITY PLAN

LEGEND:

- — — — — EXISTING PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - 450 EXISTING CONTOUR - HIGH
- - - - - 448 EXISTING CONTOUR - LOW
- — — — — 450 PROPOSED CONTOUR - HIGH
- - - - - 448 PROPOSED CONTOUR - LOW
- ===== EXISTING EDGE PAVEMENT
- ===== EXISTING CURB
- ===== PROPOSED EDGE OF PAVEMENT
- ===== PROPOSED CURB
- D — — — — — EXISTING DRAIN LINE
- D — — — — — PROPOSED DRAIN LINE
- FM — — — — — PROPOSED FORCE MAIN
- W — — — — — EXISTING WATER LINE
- W — — — — — PROPOSED WATER LINE
- S — — — — — EXISTING SEWER LINE
- S — — — — — PROPOSED SEWER LINE
- G — — — — — EXISTING GAS LINE
- E — — — — — EXISTING UNDERGROUND ELECTRIC
- C — — — — — EXISTING UNDERGROUND CABLE TV
- PROPOSED EROSION CONTROL

- NOTES:**
- ALL TRENCHES WITHIN GROSVENOR, LAMARTINE AND MEADE STREETS SHALL BE BACKFILLED AS REQUIRED BY THE CITY OF WORCESTER.
 - EXISTING CATCH BASINS WITHIN 100' OF THE PROPERTY MUST BE PROTECTED WITH INLET PROTECTION AT ALL TIMES UNTIL THE SITE IS FULLY STABILIZED.
 - SEWER SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM ALL WATER SUPPLY LINES. WHEN A 10 FOOT SEPARATION CANNOT BE MAINTAINED THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH ABOVE THE SEWER WITH AN 18 INCH VERTICAL SEPARATION BETWEEN THE CROWN OF THE SEWER AND THE INVERT OF THE WATER MAIN. ADEQUATE VERTICAL SEPARATION OF WATER/SEWER CROSSING SHALL BE CONFIRMED.
 - LOCATION OF EXISTING SEWER SERVICE TO BE DETERMINED AND CUT & CAPPED AT THE MAIN.
 - SIZE OF FIRE SERVICE LINE TO BE DETERMINED BY FIRE FLOW REQUIREMENTS.
 - CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.
 - CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN, ENGINEER SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF SITE CONSTRUCTION.



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**DEFINITIVE SITE PLAN
FOR
39 LAMARTINE STREET
WORCESTER, MASSACHUSETTS 01610**

PREPARED FOR:

**POLAR VIEWS, LLC
89 WEST MAIN STREET UNIT 101
NORTHBOROUGH, MASSACHUSETTS 01532**

PROPERTY OWNER:

**POLAR VIEWS, LLC
89 WEST MAIN STREET UNIT 101
NORTHBOROUGH, MASSACHUSETTS 01532**

PREPARED BY:

**J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772**

TELE NO.: (508) 845-2500 jmgrenier@townisp.com

SCALE: 1" = 20' **DATE:** JUNE 6, 2024

UTILITY PLAN

SHEET NO.: SHEET 5 OF 8 **PROJECT NO.:** G-647



1. Seeding and repairs shall be performed as required. Sediment and debris shall be removed at least once a year, typically in early spring prior to the commencement of the growing season.

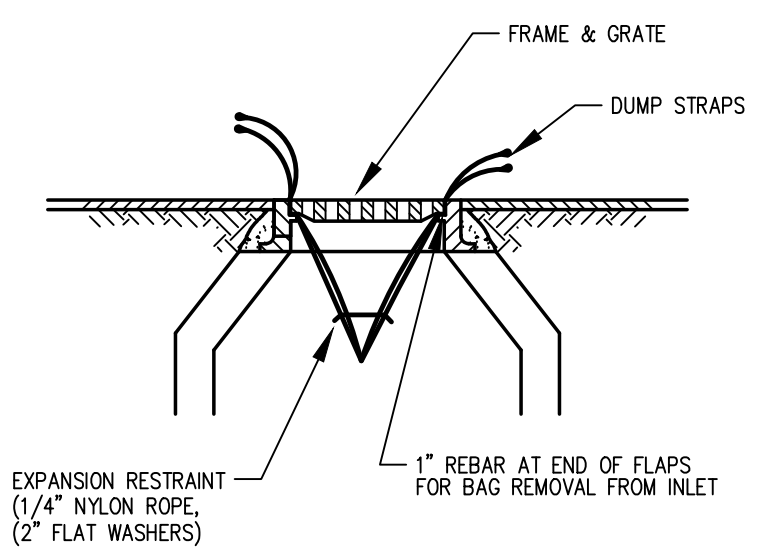
2. The CDS unit shall be inspected and cleaned as recommended by the manufacturer.

3. The pump chamber shall be inspected yearly. Pump maintenance shall follow manufacturer's instructions.

4. The contractor will be responsible for the maintenance of all drainage structures and until such time as the site work is complete. The maintenance will then be the responsibility of the property owners.

**STORMWATER COLLECTION & TREATMENT SYSTEM
INSPECTION & MAINTENANCE GUIDELINES**

- GENERAL:**
- THIS PLAN IS INTENDED TO PROVIDE GUIDANCE AND INSTRUCTION TO THE CITY OF WORCESTER AND THE CONTRACTOR(S) IN THE PREVENTION OF EROSION AND SEDIMENTATION OFF SITE. THIS PLAN IS INTENDED TO ALLOW ANY CONDITIONS OF APPROVAL TO BE MORE SPECIFIC IN ADDRESSING ITEMS OF CONCERN. IF CONDITIONS BY THE CITY OF WORCESTER ARE IN CONFLICT WITH REQUIREMENTS AS SPECIFIED ON THE PLANS CONDITIONS AS SPECIFIED BY THE CITY OF WORCESTER SHALL SUPERSEDE THE REQUIREMENTS SPECIFIED ON THESE PLANS.
- PRE-CONSTRUCTION:**
- AN EROSION CONTROL BARRIER (SEE BELOW) SHALL BE INSTALLED AS DEPICTED ON THE PLANS, BETWEEN THE AREAS TO BE DISTURBED AND RECEIVING DRAINAGE WAY AND STRUCTURES. THIS BARRIER SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. THE EROSION CONTROL BARRIERS AS SHOWN ON THE PLANS ARE THE MINIMUM PROTECTIVE MEASURES REQUIRED TO PROTECT THE ON AND OFF SITE DRAINAGE SYSTEMS.
 - THE CONTRACTOR SHALL ESTABLISH A STAGING AREA AS SHOWN ON THE PLAN FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPIILING OF MATERIALS.
 - IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: HAY BALES, SILT FENCE AND CRUSHED STONE.
 - A TEMPORARY STONE CONSTRUCTION ENTRANCE IS REQUIRED TO PREVENT TRACKING OF SILT, MUD, ETC. ONTO EXISTING ROADS. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LOADED OR EQUIPMENT IS OBSERVED TO BE TRACKING SOIL ONTO THE ROADWAYS. SEE GENERAL CONSTRUCTION REQUIREMENTS, SEE NOTE #4 BELOW.
 - THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON & OFF SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN, ON THE PLAN OR IN ANY ORDER OF CONDITIONS.
- PRELIMINARY SITE WORK:**
- MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE OR IN A SECURED OFF SITE AREA APPROVED BY THE OWNER. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE OF THE PILES IF THE PILES ARE TO REMAIN FOR MORE THAN THREE WEEKS.
 - IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL HAY BALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.
 - IF THE SITE CONSTRUCTION OCCURS AT ANY TIME OTHER THAN THE APRIL - DECEMBER CONSTRUCTION SEASON, ALL DRAINAGE SYSTEMS TEMPORARY OR PERMANENT SHALL MAINTAIN TO ENSURE ADEQUATE HYDRAULIC CAPACITY, AND DRAINING CHARACTERISTICS.
- EROSION CONTROL MEASURES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS, AND ANY CONDITIONS ISSUED BY THE CITY OF WORCESTER.
 - THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS THE LIMITING THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA WITHIN THE WORK SITE AND DRAINAGE STRUCTURES. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTOR IN THE CONTRACTOR'S CONTROL OF EROSION ON THE SITE.
 - THE EXISTING SOIL CONDITIONS PROVIDE THE POTENTIAL OF RUNOFF TO OFF-SITE AREAS WITH EROSION POTENTIAL.
 - ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE HAS CEASED OR IS TEMPORARILY HALTED UNLESS ADDITIONAL CONSTRUCTION IS INTENDED TO BE INITIATED WITHIN 21 DAYS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL DEVICES WITHIN THE LIMIT OF WORK. ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED. ANY SEDIMENTS REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF.
 - AT NO TIME SHALL SILT-LOADED WATER BE ALLOWED TO ENTER SENSITIVE AREAS (WETLANDS, OFF-SITE AREAS AND DRAINAGE SYSTEMS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.
- GENERAL CONSTRUCTION REQUIREMENTS:**
- ANY REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT TAKE PLACE INSIDE OF A 100 FOOT BUFFER ZONE, NEAR THE ENTRANCE TO ANY DRAINAGE SYSTEM AND SHALL NOT BE CONDUCTED IN PROXIMITY TO SEDIMENTATION BASINS.
 - NO ON-SITE DISPOSAL OF STUMPS, SOLID WASTE, INCLUDING CONSTRUCTION MATERIALS IS ALLOWED.
 - NO MATERIALS SHALL BE DISPOSED OF INTO THE WETLANDS, OR EXISTING/PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS INCLUDING: CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO THE SITE DRAINAGE SYSTEMS.
 - THE CONTRACTOR SHALL UNDERTAKE ALL WORK TO LIMIT AIRBORNE SEDIMENTS, ONLY CLEAN, POTABLE WATER MAY BE USED TO CONTROL DUST.
- LANDSCAPING:**
- LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
 - CONTRACTOR SHALL UTILIZE A VARIETY OF SLOPE STABILIZATION METHODS AND MATERIALS WHICH SHALL BE ADJUSTED TO THE SITE CONDITIONS. EROSION CONTROL BLANKETS OR MIRAFI MIRAMAT (OR SIMILAR PRODUCTS) SHALL BE AVAILABLE ON SITE.
 - IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH HAY, TACKIFIED WOOD CHIPS OR OTHER METHODS SHALL BE PROVIDED.
 - ALL DISTURBED SURFACES TO BE PLANTED SHALL RECEIVE A MINIMUM OF 6" TOPSOIL SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
 - ALL SLOPES OF 2.5:1 OR GREATER SHALL BE STABILIZED WITH EROSION CONTROL FABRIC.
 - TO ENSURE A DENSE, SUCCESSION GROWTH, SEED IS REQUIRED ON ALL DISTURBED SURFACES.



NOTE:
BAGS SHOULD BE CLEANED OUT AFTER EVERY RAIN EVENT AND/OR AS NEEDED.

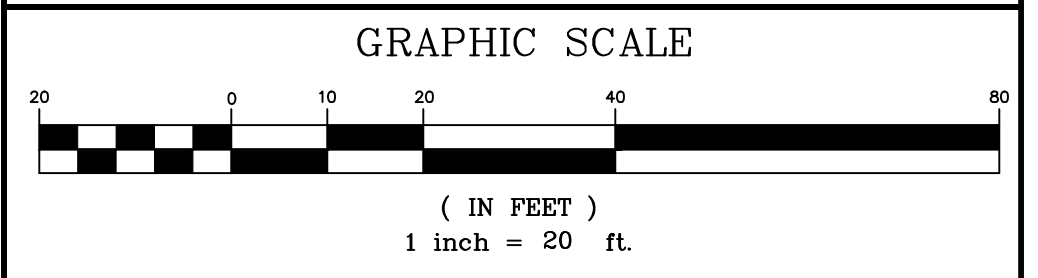
SILT SACK DETAIL
NOT TO SCALE

CONSTRUCTION SEQUENCING:

- SELECTIVELY CUT TREES AND CLEAR BRUSH TO BE CHIPPED AND HAULED OFF SITE. NOTE THAT THE SITE IS IN THE ASIAN LONGHORNED BEETLE (ALB) REGULATED AREA.
 - STAKE LOCATION OF AND INSTALL EROSION CONTROL BARRIER, CONSTRUCTION ENTRANCE AS DELINEATED ON SITE PLAN.
 - STRIP TOP AND SUBSOIL AS NECESSARY IN WORK AREA. STOCKPILE MATERIAL ON SOUTH PORTION OF LOT FOR BACKFILLING PURPOSES AT COMPLETION OF FOUNDATION CONSTRUCTION.
 - FORM AND POUR FOUNDATION FOR NEW BUILDING.
 - BACKFILL FOUNDATION AREAS AS NECESSARY.
 - CONSTRUCT BUILDING.
 - CONSTRUCT DRIVEWAYS AND LOAM AND SEED DISTURBED AREAS.
 - ALL EXCESS MATERIALS TO BE REMOVED FROM THE SITE AS SOON AS PRACTICAL.
 - ALL GRADED AREAS TO BE LANDSCAPED, LOAMED AND SEEDED AS SOON AS PRACTICAL TO REDUCE ANY POTENTIAL EROSION.
- NOTE:** PROCESSES AS DESCRIBED ABOVE ARE ESTIMATED TO TAKE 9 MONTHS. WINTER CONDITIONS MAY AFFECT THIS SCHEDULE.

- GENERAL CONSTRUCTION REQUIREMENTS:**
- ANY REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT TAKE PLACE INSIDE OF A 100 FOOT BUFFER ZONE, NEAR THE ENTRANCE TO ANY DRAINAGE SYSTEM AND SHALL NOT BE CONDUCTED IN PROXIMITY TO SEDIMENTATION BASINS.
 - NO ON-SITE DISPOSAL OF STUMPS, SOLID WASTE, INCLUDING CONSTRUCTION MATERIALS IS ALLOWED.
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 - 448- EXISTING CONTOUR - LOW
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 - E --- EXISTING UNDERGROUND ELECTRIC
 - C --- EXISTING UNDERGROUND CABLE TV
 - PROPOSED EROSION CONTROL



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**DEFINITIVE SITE PLAN
FOR
39 LAMARTINE STREET
WORCESTER, MASSACHUSETTS 01610**

PREPARED FOR:

**POLAR VIEWS, LLC
89 WEST MAIN STREET UNIT 101
NORTHBOROUGH, MASSACHUSETTS 01532**

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TELE NO.: (508) 845-2500 jmgrnier@townisp.com

SCALE: 1" = 20' **DATE:** JUNE 6, 2024

EROSION & SEDIMENTATION CONTROL PLAN

SHEET NO.: SHEET 6 OF 8 **PROJECT NO.:** G-647

